
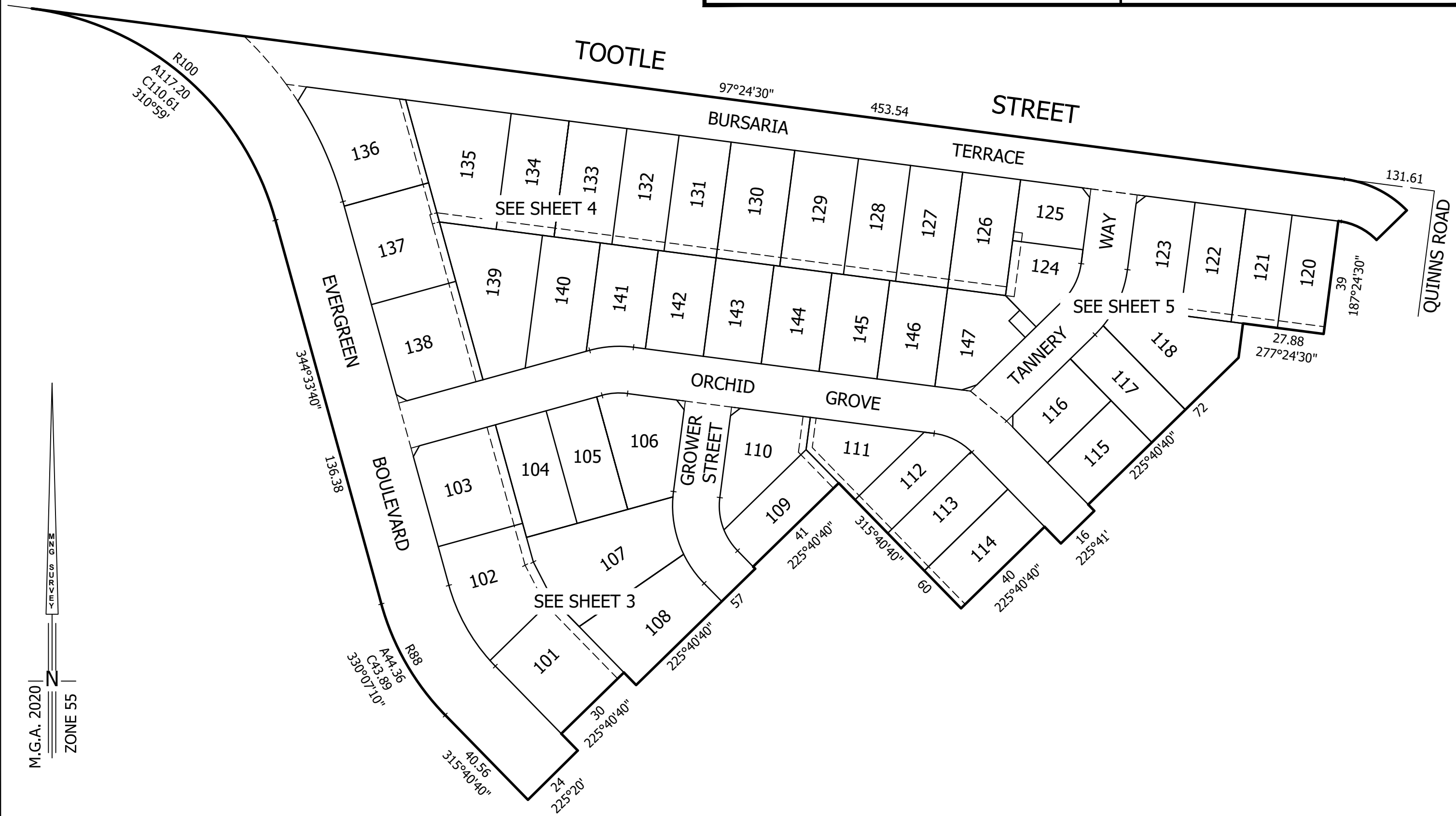


PLAN OF SUBDIVISION			LV USE ONLY EDITION 1	PLAN NUMBER PS 902811H	
LOCATION OF LAND PARISH: BYLANDS TOWNSHIP: - SECTION: - CROWN ALLOTMENT: 59(PART) & 60(PART) CROWN PORTION: - TITLE REFERENCES: Vol. 12562 Fol. 838 LAST PLAN REFERENCE/S: PS 902817U, LOT A POSTAL ADDRESS: TOOTLE STREET (At time of subdivision) KILMORE 3764, VIC MGA2020 Co-ordinates E 319 920 (of approx centre of N 5 868 410 land in plan) ZONE 55			COUNCIL NAME: MITCHELL SHIRE COUNCIL		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1-100 AND 119 (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. FOR RESTRICTION A AFFECTING LOTS 101-118, 120-147 (ALL INCLUSIVE) SEE SHEET 6		
ROAD R1 RESERVE No.1	MITCHELL SHIRE COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD				
NOTATIONS					
DEPTH LIMITATION: DOES NOT APPLY STAGING: THIS IS NOT STAGED SUBDIVISION. PLANNING PERMIT No. PL430/22 SURVEY: THIS PLAN IS BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s): PM 23, 88 AND 206 BROADSTEAD - 1 5.613ha 46 LOTS					
EASEMENT INFORMATION					
LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1	DRAINAGE	SEE PLAN	THIS PLAN	MITCHELL SHIRE COUNCIL	
E-2	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN SEC. 136 WATER ACT 1989	GOULBURN VALLEY REGION WATER CORPORATION	
E-3	DRAINAGE	SEE PLAN	THIS PLAN	MITCHELL SHIRE COUNCIL	
E-3	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN SEC. 136 WATER ACT 1989	GOULBURN VALLEY REGION WATER CORPORATION	
80266PS-012K.DWG			SURVEYOR REF: 80266ps-012k		ORIGINAL SHEET SIZE: A3
 <div>MC MULLEN NOLAN GROUP Level 1/5 Queens Road Melbourne VIC 3004 Tel: (03) 7002 2200 Fax: (03) 7002 2299 Email: vic.admin@mngsurvey.com.au</div>			MATTHEW DUNN		SHEET 1 OF 6
			VERSION 9		

PLAN OF SUBDIVISION

PLAN NUMBER
PS 902811H



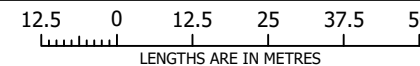
M.G.A. 2020
ZONE 55



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SCALE
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ORIGINAL SHEET
SIZE A3

SHEET 2

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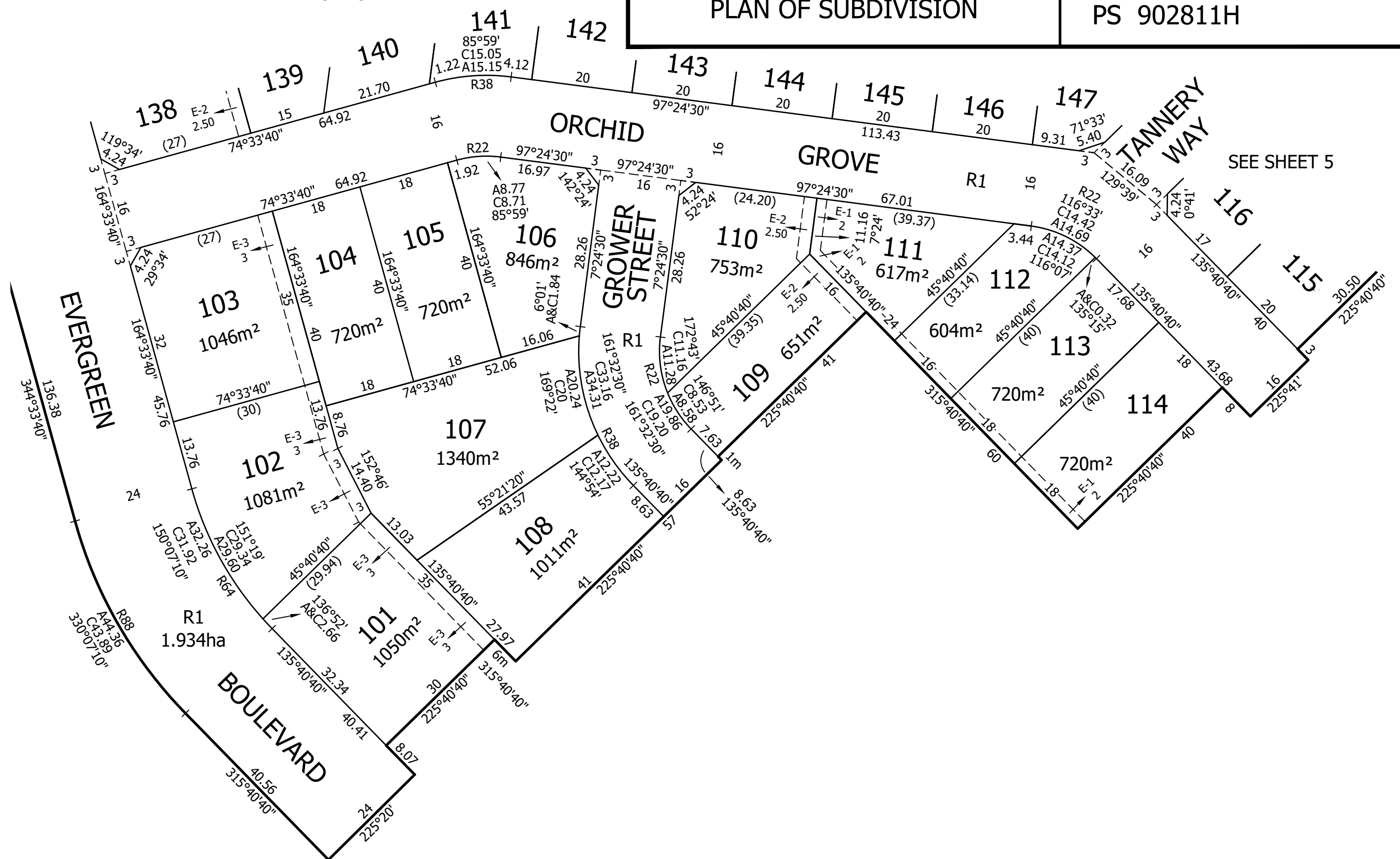
VERSION 9

SEE SHEET 4

PLAN OF SUBDIVISION

PLAN NUMBER
PS 902811HM.G.A. 2020
ZONE 55

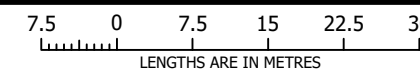
SEE SHEET 5



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SCALE
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SIZE A3

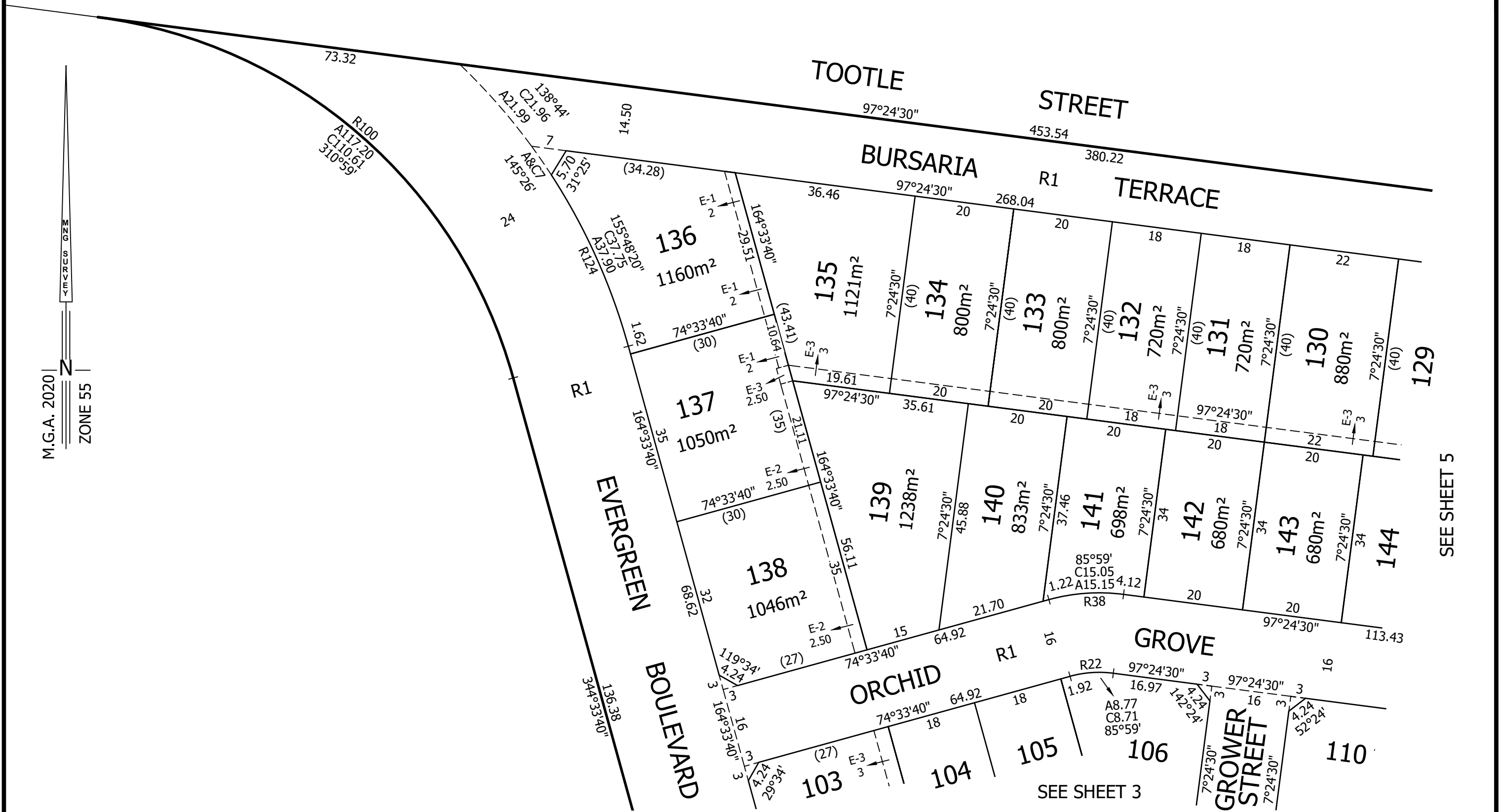
SHEET 3

MATTHEW DUNN

VERSION 9

PLAN OF SUBDIVISION

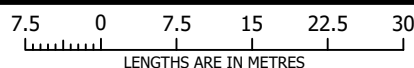
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SCALE
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ORIGINAL SHEET
SIZE A3

SHEET 4

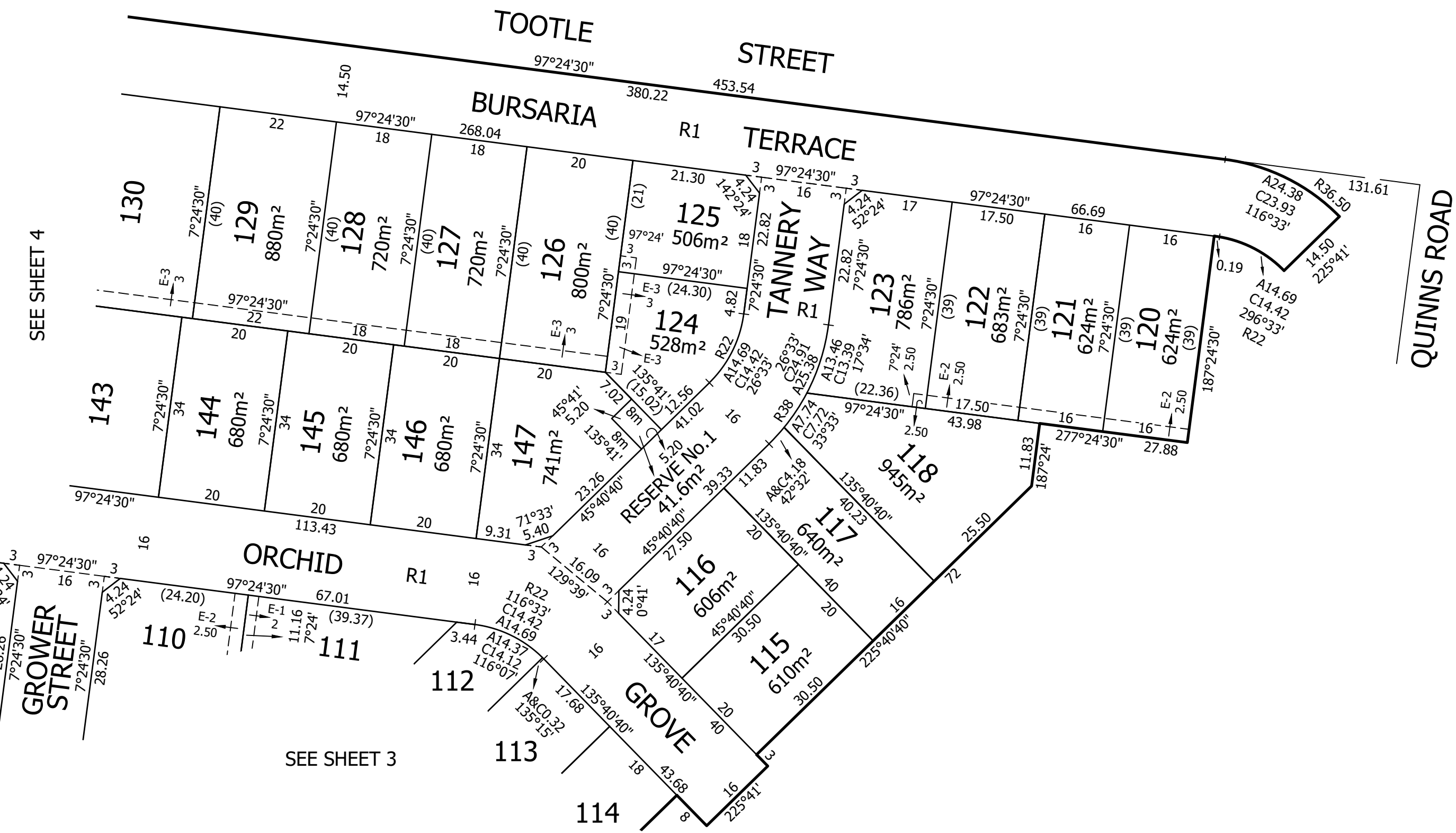
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VERSION 9

PLAN OF SUBDIVISION

PLAN NUMBER
PS 902811H

M.G.A. 2020 | ZONE 55 | SEE SHEET 4



CREATION OF RESTRICTION A

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Burdened land - Lots 101-118, 120-147 on this plan (all inclusive)
Benefited land - Lots 101-118, 120-147 on this plan (all inclusive)

Description of Restriction

Except with the written consent of the 'Broadstead' assessment panel, the burdened lot shall not:

- (1) Construct or allow to be constructed any building or structure on the lot outside of the endorsed Building Envelope Plan.
- (2) Construct or allow to be constructed any building or structure other than a building or structure in accordance with the 'Broadstead' Building Design Guidelines as amended from time to time. A copy of the Design Guidelines is available on the Project Website and within the Contract of Sale.
- (3) Construct or allow to be constructed any building or structure on the lot prior to 'Broadstead' design assessment panel or such other entity as may be nominated by 'Broadstead' design assessment panel from time to time have given its written approval to the plans and documentation prior to the commencement of works.
- (4) Construct or allow to be constructed more than one dwelling on each lot.
- (5) Allow subdivision of any lot.

Expiry date: 31/12/2038